

**Lookout Ridge
Planned Unit Development
Development Plan**

EXHIBIT A

B. PURPOSE

The Lookout Ridge Planned Unit Development (PUD) is composed of approximately 41 acres, as described in **Exhibit B**, Field Notes. The PUD is located directly north of Terra Vista and west of FM 1460 where Blue Ridge Drive currently terminates at the property line.

This PUD serves to augment and modify the standards for development outlined in the City's Unified Development Code (UDC) in order to implement the vision for the property and insure a cohesive, quality development not otherwise anticipated by the underlying base zoning district. In accordance with UDC Section 4.06.010.C "Development Plan Required", this Development Plan titled **Exhibit A** is a summary of the development and design standards for the property.

Lookout Ridge PUD is planned as a medium density residential community that includes two separate product types. The property is planned with alley loaded, attached homes and front garage load attached homes that will be configured on a single lot site plan rather than individually platted lots. Each building will include a maximum of two attached units. The alley load homes will make up the interior of the project units and the front load homes will be located around the north, west and southern perimeter of the property.

The internal vehicular circulation will be composed of private drive aisles with parallel parking. Landscape islands are incorporated along the drive aisles to provide traffic calming and locations for street trees,. Blue Ridge Drive will also be extended through the site, connecting Terra Vista to the future Sierra Way/Ridgeline east/west arterial extension.

In order to meet the criteria defined by the UDC for PUD zoning changes, the following land use considerations and design features were incorporated into the planning of the project.

1. A mix of two housing types from alley loaded attached homes and traditional front load two family product.
2. Each land use has been placed in a logical, orderly relationship, with front load two family product located adjacent to existing single family homes to create a "backyard to backyard" relationship that is compatible with existing homeowners.
3. The PUD proposes a variety of multi modal transportation options with walkways along each drive aisle and park trails connecting the neighborhoods to the amenity center.
4. Recreation amenities have been centralized to serve all residents.
5. Proposed internal units are designed to be alley loaded, giving a more pedestrian focused streetscape that is not encumbered with driveways or garages.
6. Due to the site location at the terminus of Blue Ridge Drive, the site is well positioned for timely access to public utilities, and services.

C. APPLICABILITY AND BASE ZONING

In accordance with UDC Section 4.06.010.A “Compatibility with Base Zoning District”, all development of the property shall conform to the base zoning districts listed below. Except for those requirements specifically deviated by this Development Plan, all development standards established in the most current version of the UDC at time of development shall be applicable, including amendments or ordinances adopted after the date of this PUD. In the case that this Development Plan does not address a specific item, the City of Georgetown UDC and any other applicable Ordinances shall apply. In the event of a conflict between the regulations of this PUD and the regulations of the base zoning district, the PUD shall control.

The Base Zoning Districts for the Property:

- Two Family (TF)

For the purpose of the Lookout Ridge PUD, UDC Section 4.04.010 D shall be modified as follows: *Two-Family District (TF) is intended for multiple two-family dwellings that are located on a single lot. The Lookout Ridge PUD proposed buildings shall include a maximum of two attached units per building. The Two Family (TF) buildings shall be processed as a single lot site plan composed of multiple two unit buildings oriented along private drive aisles and alleys. Individual platted lots shall not be required for each building. UDC Section 3.09.01.A.1 shall be modified such that proposed development within the PUD must obtain an approved Site Development Plan. The TF District is a moderate density District that may be used to separate residential areas zoned RE, RL, or RS from higher density residential and commercial areas.*

The Two Family project will establish a Residential Private Property Owners Association (POA) for maintenance of the neighborhood. The Property Owner’s Association will be responsible for the maintenance of street trees, private drive aisles, landscape areas, signage, amenity center, parks, trails, buildings, walls and any other common open space areas.

D. CONCEPTUAL LAND PLAN

A Conceptual Land Plan has been attached to this Development Plan as **Exhibit C** to illustrate the land use and design intent for the property. Modifications to this plan may be managed according to the process provided in Section O of this Development Plan. Submittal, review, and approval of a Site Development Plan is still required in accordance with the Unified Development Code and applicable sections of this Development Plan..

E. LAND USES

1. Primary Use. The primary use of the Property shall be two family attached residential homes located along private drive aisles within a single lot site plan, as it is defined in Section C of this Development Plan.

- Attached, two unit buildings served by rear alleys.
- Attached, two unit buildings served by a front entry garage.
- Neighborhood Amenity Center

F. DESIGN STANDARDS

1. Density:

A. The maximum number of total units shall not exceed 330 units.

2. Setbacks. The setbacks on the property shall comply with UDC unless modified within **Table F** below.

3. Building Height. The maximum building heights on the property shall comply with UDC unless modified within **Table F** below.

Table F:

<u>Development Standards:</u>	TF (Two Family Attached on Single Lot Condo Regime)
Lot Size, minimum Sq ft	12,000 ¹
Lot Width, minimum	70 ft. ²
Dwelling Units per Structure	2
Corner Lot Width, minimum	N/A
Front Setback, minimum (measured from boundary of single lot site plan)	15 ft.
Side Setback, minimum (measured from boundary of single lot site plan)	10 ft.
Rear Setback, minimum (measured from boundary of single lot site plan)	10 ft.
Side/Rear Street Setback, minimum	N/A
Street Facing Garage Setback, minimum	N/A
Unloaded Street Setback, minimum	N/A
Private drive aisle front building setback for Alley Load Units (measured from face of curb to front of two unit building)	20 ft.
Private drive aisle side setback (measured from face of curb to side of unit)	15 ft.
Private drive aisle front building setback for Garage Front Units (measured from face of curb to front of two unit building)	25 ft.
Alley rear building setback (measured from edge	20 ft.

of alley pavement to back of alley load unit)	
Minimum Building Separation (wall to wall)	10 ft.
Impervious Cover	60%
Building Height, Maximum FT	35 ft.

1. *Minimum lot size for single lot site plan. Individual platted lots are not required for each building*
2. *Minimum lot width for single lot site plan. Individual platted lots are not required for each building.*

5. Architectural Requirements.

A. The following architectural criteria for Two Family (TF) shall apply to the homes within the PUD and shall satisfy any requirements for architectural treatment of the homes.

1. All TF dwellings shall contain a minimum of 1,300 square feet of enclosed living space, exclusive of porches, decks, garages.
2. All TF units shall have a minimum roof pitch of 5:12, except porch coverings or secondary roof features.
3. Each front elevation shall contain a minimum of two of the following elements, to be identified on the architectural plans submitted for building permit:
 - a. A minimum of two wall planes on the front elevation, offset a minimum of 18 inches
 - b. Roof covered front entryway
4. Internal units shall have garages accessed from an alley.
5. Architectural elevations of each home product are illustrated on **Exhibit J**. Each elevation that faces or backs onto a street or park space shall incorporate these design features. Each home shall incorporate three (3) of the following design details:
 - a. Homes that incorporate a front porch or porch posts shall have posts that are at least ten (10) inches in width,
 - b. Window awnings, shutters and/or window trim that provide architectural shadow relief and dimension to the window opening provided on front elevations as well as any elevation that sides or backs onto an unloaded collector/arterial or park open space.
 - c. Window and door trim shall incorporate trim boards that are a minimum of four (4) inches wide.
 - d. Ornamental corbels and/or brackets
 - e.
 - f. Ornamental garage doors for garage front load units

G. PARKING.

Each alley load access unit shall contain two (2) garage enclosed parking spaces and two (2) driveway parking spaces. Each garage front unit will contain (1) one garage enclosed parking space and (1) one driveway parking space. On street, parallel parking shall be provided along one side of all internal private drive aisles for resident and guest parking spaces.

H. VEHICULAR ACCESS AND CIRCULATION

1. **Blue Ridge Drive:** Blue Ridge Drive shall be extended from the southern boundary with Terra Vista to the northern boundary of Lookout Ridge. The right of way and

pavement cross section shall match Blue Ridge Drive (73 foot right of way) as it exists currently within Terra Vista.

2. **Internal Drive Aisles:** Drive aisles within the development shall be a minimum of 20 feet (face of curb to face of curb) in width for fire access. No on street parking shall be permitted along the minimum 20 foot wide drive aisles.

Drive aisles of 28 feet in width (face of curb to face of curb) are provided within the development on the majority of internal circulation routes. On street parking shall be provided along one side of all internal drive aisles that are a minimum of 28 feet wide. Landscape islands shall be added approximately every 65 feet, as depicted on **Exhibit F**, to define parallel parking areas, allow for street tree placement and to calm traffic speeds.

Internal drive aisles shall contain a 5' wide sidewalk in front of all alley loaded dwelling units. Intersections will include accessible ramps and crosswalks for connectivity and pedestrian circulation within the neighborhood.

Internal drive aisles shall utilize stand up curbs. See **Exhibit I** for Internal Drive Aisle cross section.

3. **Minimum Street Connections:** Lookout Ridge shall provide a minimum of 3 drive aisle connections to Blue Ridge Drive. No other connection points shall be required.

J. LANDSCAPE AND BUFFER REQUIREMENTS

1. Street trees-Blue Ridge Drive:
 - i. Blue Ridge Dr.: One (1) three (3") caliper inch street tree shall be planted at a spacing not to exceed forty (40') feet along the frontage of Blue Ridge Drive.
 - ii. Street tree spacing may be adjusted as necessary to avoid utility conflicts, fire hydrants or street light poles (see **Exhibit G** for street tree type). Location adjustments must be approved by Director.
 - iii. Street trees shall be an allowable source of tree mitigation, if all provisions of UDC section 12.06.G are satisfied.
 - iv. Six-foot minimum separation from both the curb and the sidewalk with a modular suspended pavement framing system;
 - v. Eight-foot minimum separation with plastic root barriers; or
 - vi. Ten-foot minimum separation between back of curb and sidewalk with no root barrier.
 - vii. Approved Ornamental Trees shall not require root barrier treatments.
 - viii. Approved Tree species shall be spaced approximately 40 feet apart, unless otherwise approved by the Urban Forester on the Construction Plans.
 - ix. All street trees shall be irrigated and maintained by the property owner association POA, or special district, as designated in a plat note.
 - x. A maintenance agreement, license agreement and plat notes shall be established prior to recordation of the final plat for the subdivision. The maintenance agreement shall dictate that repair to curbs or sidewalks attributed to street tree root damage shall be the responsibility of the property owner association POA, as designated.

2. Street Trees: Private Drive Aisles
 - i. Private Drives: Street trees shall be provided within designated landscape islands along internal drive aisles where units are served by a rear alley.
 - ii. Plastic root barrier shall be provided for all street trees within the landscape islands. (See **Exhibits E, F and G**)
 - iii. Approved Ornamental Trees shall not require root barrier treatments.
 - iv. Approved Tree species shall be spaced approximately 65 feet apart, unless otherwise approved by the Director on the Construction Plans.
 - v. All private drive aisle street trees shall be irrigated and maintained by property owner association POA, as designated in a plat note.
 - vi. The street tree species selected for each private drive shall be identified on the Site Development Plan.
 - vii. Street tree spacing may be adjusted as necessary to avoid utility conflicts, fire hydrants or street light poles (see **Exhibit G** for typical street tree). Location adjustments must be approved by Director.
 - viii. Street Trees shall be an allowable source of tree mitigation, except where the Street Trees conflict with the requirements of UDC 8.06.030.A-D.
3. Each Two Family (TF) residential housing unit shall have a minimum of five (5), five (5) gallon shrubs and five (5), three (3) gallon shrubs as a foundation planting. See **Exhibit K** for typical landscape plan per building type.
4. A maximum of 500 s.f. of spray irrigated turf (Bermuda) shall be allowed per unit.
5. All other yard areas (back yards/side yards) shall be plant bed or xeriscape landscaping with drip irrigation only.
6. All irrigation system(s) shall be equipped with rain sensors.
7. All plant material must be native or native adapted, drought tolerant, low water user material as defined by the City's preferred plant list.
8. Residential Boundary Wall: Blue Ridge Drive: An 100% opaque wall shall be constructed along the right-of-way line at least six feet in height, but no taller than ten feet in height, as measured from finished grade. The wall shall have a minimum thickness of 2". No wall shall not be required where park or open space is proposed. Please see **Exhibit C** for approximate wall location. One (1) three (3) inch caliper shade tree shall be planted at a spacing not to exceed 50 feet along the southern boundary of the property as an enhanced buffer in between Lookout Ridge and existing single family homes.

N. PARKLAND AND COMMON AMENITY AREA

1. Parkland

The PUD shall incorporate a series of private park areas, trails, sidewalks and multi use paths throughout the development. **Exhibit D** defines the location of the park areas and multi modal trails/walks within the project. The park land, park improvements and trails

illustrated on **Exhibit D** shall be privately owned and maintained by a Property Owner Association POA.

A minimum of five of the below, non-exclusive, public amenities will be provided within the park areas:

Trails

Playground / Swings

Site Furnishings

Picnic Areas with Picnic Tables and Benches

Shaded pavilion

Improved multi use green space

2. Park Credit Two Family (TF):

50% credit for private parkland will be provided towards the overall land dedication and park development improvement requirements for the Two Family residential portion of the PUD. The remaining 50% land dedication and park improvement fee requirement will be satisfied by paying \$the currently applicable fee in lieu according to the Unified Development at time of Site Development Plan, and shall be paid prior to approval of the Site Development Plan.

3. Private Amenity Area.

In addition to the amenities outlined above, Lookout Ridge will have a private amenity center with a swimming pool and resident cabana building overlooking an enhanced amenity pond.

4. Amenity Wet Pond

In the open space area on the northern portion of the property, an enhanced amenity wet pond will be provided with trail connections around the pond, linking pedestrians from the neighborhood to the walkway along Blue Ridge Drive and to the private amenity center. The enhanced amenity pond will be curvilinear in shape, contain an ornamental fountain and incorporate wetland plantings along the edges of the pond. The amenity pond shall not utilize City of Georgetown water supply to fill or maintain the pond level.

O. PUD MODIFICATIONS

In conformance with Section 4.06.010.D.3 of the UDC, modifications to this Development Plan shall require City Council approval of an amendment to this PUD processed pursuant to Section 3.06 of the UDC, except, where the Director of Planning determines such modifications to be minor, the Director may authorize such modifications. Minor modifications may include changes to internal drive aisles locations or building locations, providing those modifications conform to the general intent of this PUD, uses authorized by this PUD, or to applicable provisions of the UDC and any other applicable regulations.

P. LIST OF EXHIBITS

Exhibit A - Development Plan

Exhibit B – Legal Description

Exhibit C - Conceptual Land Plan

Exhibit D -Parks and Trails

Exhibit I – Private Drive Cross Section

Exhibit J – Architectural Product

Exhibit K –typical Landscape Plan per Unit

Exhibit E – Typical Units

Exhibit F – Typical Block

Exhibit G – Street Trees

Exhibit H – Blue Ridge Drive

EXHIBIT B – FIELD NOTES

DESCRIPTION FOR A 40.99 ACRE TRACT

A **40.99 acre** tract of land situated in the Frances A. Hudson Survey, Abstract 295, Williamson County, Texas, and being a portion of that called 72.8080 acre tract of land as conveyed to Lookout Ridge Holdings Fund I LLC, and as recorded in Document No. 2022104589, of the Official Public Records of Williamson County, Texas, (O.P.R.), and also being the remainder of that called 33.70 acre tract, Tract 1, as conveyed to Lookout Ridge, LLC, and as recorded in Document No. 2016053347 of the O.P.R., said 40.99 acre tract being more particularly described by metes and bounds as follows:

BEGINNING at a ½" iron rod found for the northwest corner of Block 1, Teravista, Section 401, Phase 1, as recorded in Document No. 2016112428, of the O.P.R. of Williamson County, Texas, and in the easterly line of that called 8.32 acre tract, Tract 11, as conveyed to Lookout Ridge, LLC, and as recorded in Document No. 2016053347 of the O.P.R., also for the southwest corner of said 33.70 acre tract, and the **POINT OF BEGINNING** of the tract described herein;

THENCE: N 22°08'01" W, along and with the westerly line of said 33.70 acre tract, and the easterly line of said 8.32 acre tract, a distance of **307.28 feet** to a calculated point for the southeast corner of that called 5.29 acre tract of land, Tract 13, as conveyed to Lookout Ridge, LLC, and as recorded in Document No. 2016053347, in the O.P.R., and for the northeast corner of said 8.32 acre tract;

THENCE: N 21°48'44" W, along and with the easterly line of said 5.29 acre tract, and the westerly line of said 33.70 acre tract, a distance of **580.15 feet** to a calculated point;

THENCE: N 22°37'30" W, continuing along and with the easterly line of said 5.29 acre tract, and the westerly line of said 33.70 acre tract, a distance of **32.73 feet** to a calculated point for an external corner of said 72.8080 acre tract;

THENCE: N 22°48'05" W, continuing along and with the easterly line of said 5.29 acre tract, and the westerly line of said 72.8080 acre tract, a distance of **27.81 feet** to ½" iron rod found for the northeast corner of said 5.29 acre tract, and also being the southeast corner of that called 5.02 acre tract as conveyed to Armaan K. Hussain and recorded in Document No. 2022049331 of the O.P.R.;

THENCE: N 22°50'09" W, along and with the easterly line of said 5.02 acre tract, and the westerly line of said 72.8080 acre tract, a distance of **126.06 feet** to a found ½" iron rod;

THENCE: N 20°12'45" W, continuing along and with the easterly line of said 5.02 acre tract, and the westerly line of said 72.8080 acre tract, a distance of **291.67 feet** to a ½" iron rod found in the southerly line of the remainder of that called 94.1189 acre tract as conveyed to Williamson County, Texas, and recorded in Document No. 2001021470, of the O.P.R., and also for the northwest corner of said 72.8080 acre tract and the tract herein described;

THENCE: N 68°21'52" E, along and with the southerly line of said 94.1189 acre tract, and the northerly line of said 72.8080 acre tract, passing at a distance of 1398.80 feet a calculated point for the northwesterly corner of a save and except 3.4394 acre tract of proposed right-of-way, as recorded in

Document No. 2022104589, O.P.R., and continuing for a total distance of **1541.30 feet** to a ½" iron rod found for the southeast corner of said 94.1189 acre tract;

THENCE: N 21°18'32" W, along and with the west line of said 3.4394 acre proposed right-of-way, and also said 72.8080 acre tract, and with the east line of said 94.1189 acre tract, a distance of **219.82 feet** to a ¾" iron pipe found for the southwest corner of the right-of-way of Blue Ridge Drive, variable width right-of-way as recorded in Document No. 2022056825, O.P.R., and in the northerly line of said 72.8080 acre tract;

THENCE: N 68°51'38" E, along and with the southerly right-of-way line of said Blue Ridge Drive, and with the northerly line of said 3.4394 acre tract and said 72.8080 acre tract, a distance of **36.65 feet** to a calculated point for the most northerly corner of said 3.4394 acre tract and the tract described herein, from which point a found ½" iron rod with cap marked "HALFF" bears N 66°23'08" E and a distance of 10.04 feet;

THENCE: over and across said 72.8080 acre tract, and also along and with the east line of said 3.4394 acre tract, the following five (5) courses:

1. **S 21°18'32" E**, a distance of **223.56 feet** to a calculated point for the beginning of a curve;
2. along and with said curve to the right having an arc of **261.74 feet**, a radius of **334.08 feet**, a delta of **37°10'19"**, and a chord bears **S 02°43'23" E**, a chord distance of **212.96 feet** to a calculated point;
3. **S 15°50'40" W**, a distance of **364.11 feet** to a found ½" iron rod with cap stamped "CRICHTON RPLS 4046" for the beginning of a curve;
4. along and with said curve to the left having an arc of **300.65 feet**, a radius of **463.94 feet**, a delta of **37°07'48"**, and a chord bears **S 02°43'14" E**, a chord distance of **295.42 feet** to a found ½" iron rod with cap marked "CRICHTON RPLS 4046";
5. **S 21°18'15" E**, a distance of **599.16 feet** to a ½" iron rod with cap stamped STANTEC found in the northerly line of said Teravista, Section 401, Phase 1, and for the northeast corner of the right-of-way of Blue Ridge Drive (73 feet wide R.O.W.), and in the southerly line of said 72.8080 acre tract, and for the southeast corner of said 3.4394 acre tract and the tract described herein;

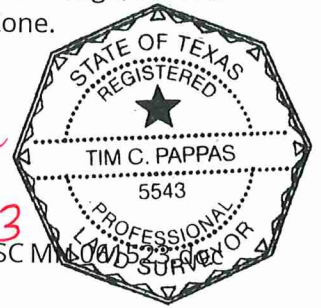
THENCE: S 68°42'04" W, along and with the southerly line of said 3.4394 acre tract and said 72.8080 acre tract, and the northerly line of said Teravista, Section 401, Phase 1, Block I, and said right-of-way of Blue Ridge Drive, passing at a distance of 73.00 feet a ½" iron rod with cap stamped STANTEC, and continuing a total distance of **573.94 feet** to a found fence post;

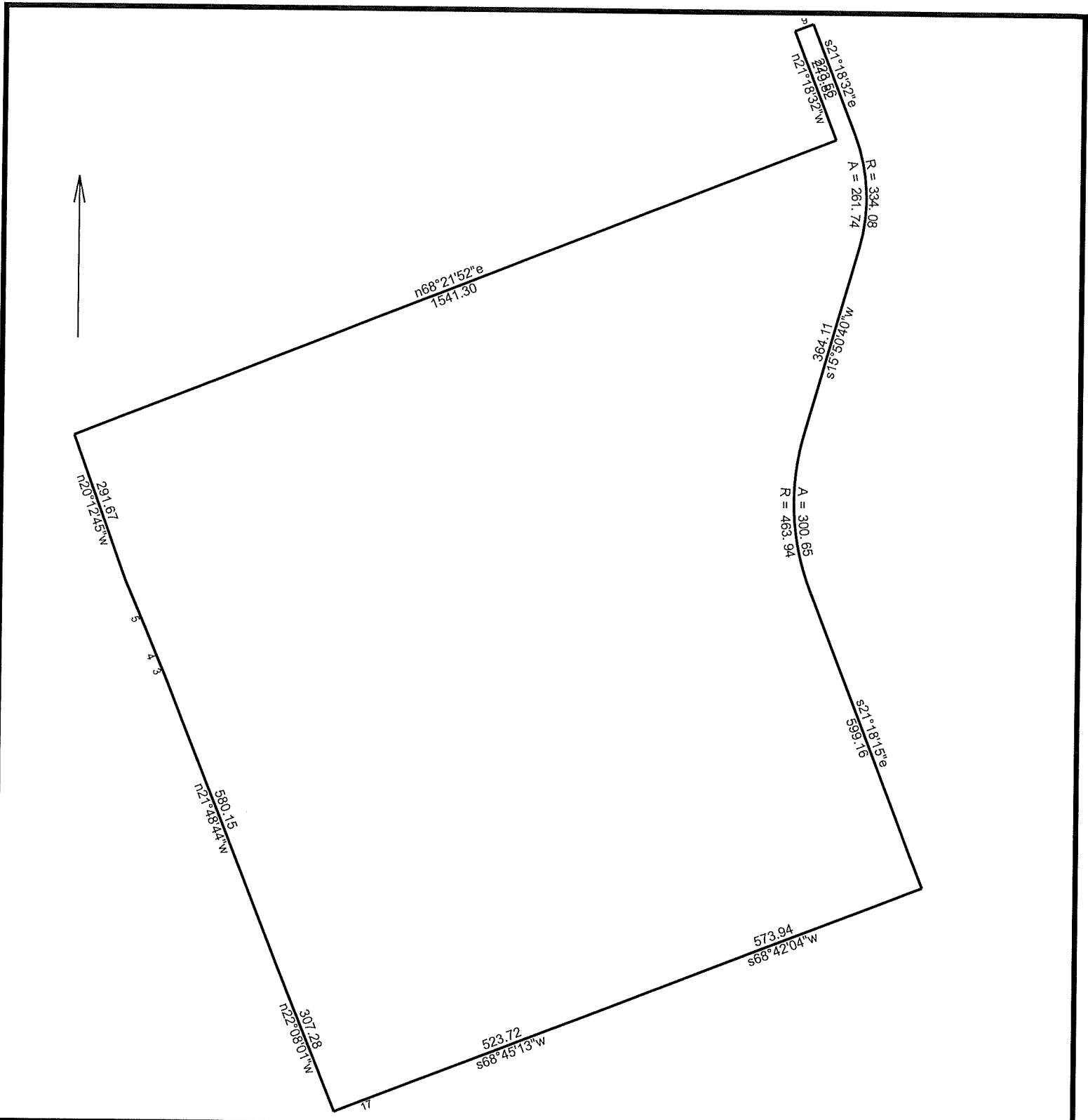
THENCE: S 68°45'13" W, continuing along and with the southerly line of said 72.8080 acre tract, and the northerly line of said Teravista, Section 401, Phase 1, Block I, a distance of **523.72 feet** to a calculated point for the southwest corner of the said 70.8080 acre tract;

THENCE: S 68°45'13" W, continuing along and with the southerly line of said 33.70 acre tract, and the northerly line of said Teravista, Section 401, Phase 1, Block I, a distance of **89.50 feet** to the **POINT OF BEGINNING** and containing 40.99 acres of land more or less, situated in Williamson County, Texas and being described in accordance with a survey prepared by Colliers Engineering and Design, TBPELS Firm Number 10194550. Bearings are based on NAD83 Texas State Plane Central Zone.

Job No: 23-045
Prepared by: Colliers Engineering & Design
Date: June 15, 2023
File: S:\Draw 2023\23-045 Lookout Ridge - Georgetown\DOCS\23-045 40.99 AC DESC M

Tim C. Pappas
16 JUNE 2023





6/16/2023

Scale: 1 inch= 254 feet

File: 40.99AC.ndp

Tract 1: 40.9943 Acres, Closure: s45.5416e 0.02 ft. (1/378561), Perimeter=6100 ft.

- 01 n22.0801w 307.28
- 02 n21.4844w 580.15
- 03 n22.3730w 32.73
- 04 n22.4805w 27.81
- 05 n22.5009w 126.06
- 06 n20.1245w 291.67
- 07 n68.2152e 1541.30
- 08 n21.1832w 219.82
- 09 n68.5138e 36.65
- 10 s21.1832e 223.56
- 11 Rt, r=334.08, arc=261.74, chord=s02.4323e 212.96

- 12 s15.5040w 364.11
- 13 Lt, r=463.94, arc=300.65, chord=s02.4314e 295.42
- 14 s21.1815e 599.16
- 15 s68.4204w 573.94
- 16 s68.4513w 523.72
- 17 s68.4513w 89.50

EXHIBIT C – LAND USE PLAN

LAND USE SUMMARY

RESIDENTIAL	ACRES	DENSITY	UNITS
ALLEY LOADED DUPLEX RES.			240 units
FRONT LOADED DUPLEX RES.			90 units
RES. SUB-TOTAL: 31.7 AC. 10.4 du/ac 330 units			
FUTURE DEVELOPMENT	32.0 AC.		
AMENITY	1.0 AC.		
MAJOR ROW	2.7 AC.		
OPEN SPACE*	7.1 AC.		
Notes:	TOTAL 74.5 AC.		330 units
* Includes open space, retention/detention/water quality, easements, parks, and buffers.			



North Date: November 9, 2023

SHEET FILE: J:\20160-COCA\Cadfiles\PLANNING\Lotting\K_PUD Exhibit C.dwg
 Base mapping compiled from best available information. All map data should be considered as preliminary, in need of verification, and subject to change. This land plan is conceptual in nature and does not represent any regulatory approval. Plan is subject to change.

EXHIBIT C
LOOKOUT RIDGE
 GEORGETOWN, TEXAS



EXHIBIT D – PARKS AND TRAILS PLAN

PARKLAND CALCULATION

PARKLAND REQUIREMENT FOR (TF) TWO FAMILY

Required Parkland: 1 AC / 110 Lots or \$780.00 per unit
 MAX. 330 Units / 110 = 3.0 AC
 MAX. 330 Units x \$780.00 = \$257,400

Required Parkland Improvements

MAX. 330 Units x \$1,200 = \$396,000

PARKLAND CREDIT

50% Land + 50% Improvement Fee
 $\$257,400 \times 50\% = \$128,700$
 $\$396,000 \times 50\% = \$198,000$
 \$326,700

Non-Exclusive Park Improvements (Min. \$198,000.00)

Trails	Site Furnishings	Enhanced Amenity Pond
Playground	Picnic Area with Picnic Tables and Swings	Improved Open Play Areas
Swings	Covered Pavilion	

LEGEND

	6' COLLECTOR SIDEWALK	UNITS
	PRIVATE 6' TRAIL	1,380 L.F.
	PRIVATE AMENITY SITE	1,620 L.F.
	PRIVATE PARKLAND	1.0 ACRES
		5.6 ACRES



Scale: 1" = 300'
 Date: August 31, 2023

SHEET FILE: J:\2023\COCA\COCA\PLANNING\Submittals\PLD_Zoning\Exhibit D_Parkland Plan.dwg
 Base mapping compiled from best available information. All map data should be considered as preliminary, in need of verification, and subject to change. This land plan is conceptual in nature and does not represent any regulatory approval. Plan is subject to change.

EXHIBIT D PARKS & TRAILS PLAN LOOKOUT RIDGE GEORGETOWN, TEXAS

EXHIBIT E – TYPICAL UNITS



Scale: 1" = 30'
 Date: January 18, 2024
 North
 0 15' 30' 45'

SHEET FILE: J:\2019\COCA\COCA\PLANNING\GIS\Map\PD_Zoning\Exhibit E_Prototype Unit Plan_2024.01.18.dwg
 Base mapping compiled from best available information. All map data should be considered as preliminary, in need of verification, and subject to change. This land plan is conceptual in nature and does not represent any regulatory approval. Plan is subject to change.

EXHIBIT E
 PROTOTYPICAL UNIT PLAN
 LOOKOUT RIDGE
 GEORGETOWN, TEXAS

EXHIBIT F – TYPICAL BLOCK

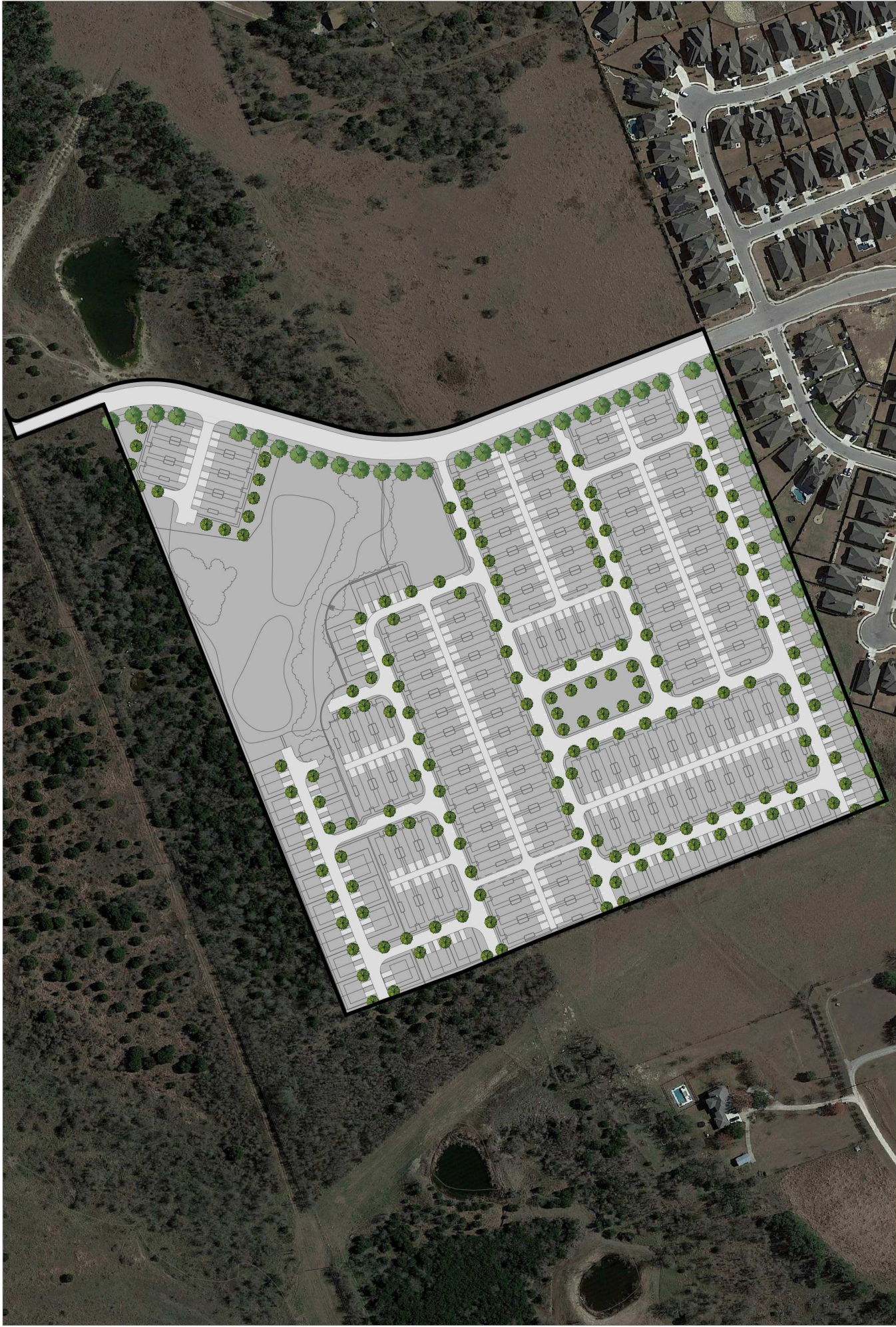


Scale: 1" = 70'
 Date: January 18, 2024

SHEET FILE: J:\2020\COCAC\OFFICE\PLANNING\Submittals\PUD_Zoning\Exhibit F_Prototype Block Plan_2024.01.18.dwg
 Base mapping compiled from best available information. All map data should be considered as preliminary, in need of verification, and subject to change. This land plan is conceptual in nature and does not represent any regulatory approval. Plan is subject to change.

EXHIBIT F
 PROTOTYPICAL BLOCK PLAN
 LOOKOUT RIDGE
 GEORGETOWN, TEXAS

EXHIBIT G – STREET TREES



North
Scale: 1" = 300'
Date: August 17, 2023



EXHIBIT G
STREET TREE PLAN
LOOKOUT RIDGE
GEORGETOWN, TEXAS

SEC Planning, LLC

Land Planning + Landscape Architecture + Community Branding

AUSTIN, TEXAS
312.244.7676
www.secplanning.com • info@secplanning.com



SHEET FILE: J:\2021\0-COCACad\files\PLANNING\Submittals\PUID_Zoning\Exhibit G_Street Tree Plan.dwg
Base mapping compiled from best available information. All map data should be considered as preliminary, in need of verification, and subject to change. This land plan is conceptual in nature and does not represent any regulatory approval. Plan is subject to change.

EXHIBIT H – BLUE RIDGE DRIVE



EXHIBIT I – PRIVATE DRIVE



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PROTECT YOURSELF
 ALL STATES REQUIRE NOTIFICATION
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 DISTURB THE EARTH'S SURFACE
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 FOR STATE SPECIFIC DIRECT PHONE NUMBERS
 VISIT: WWW.CALL811.COM

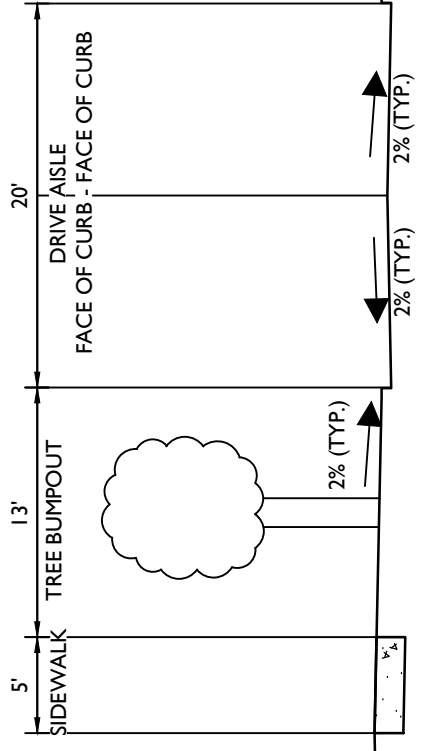
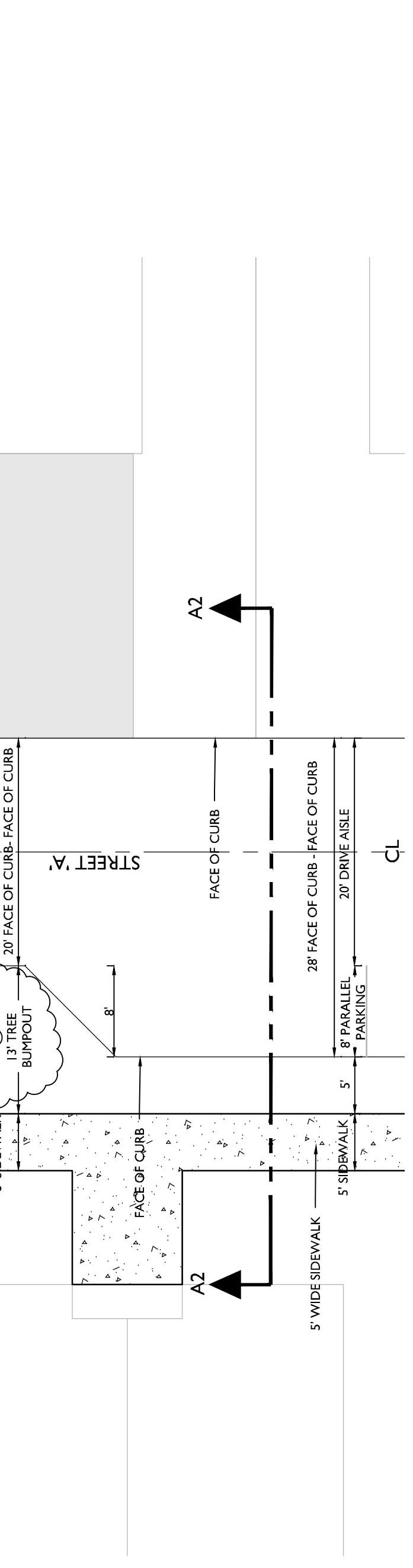
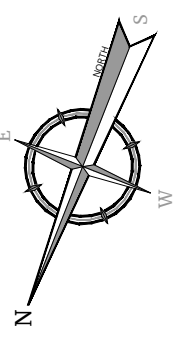
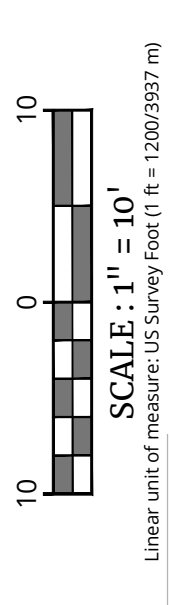
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LOOKOUT RIDGE
 GEORGETOWN
 WILLIAMSON COUNT
 TEXAS

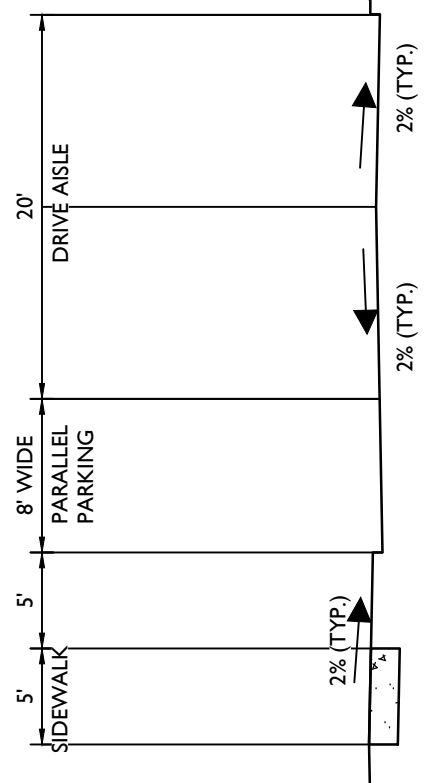
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SCALE: AS SHOWN
 DATE: OCT. 2023
 PROJECT NUMBER: XXXXXXXXXXXX
 DRAWN BY: RAN
 CHECKED BY: AV
 PERMIT CROSS SECTION AT
 TERAVISTA
 FIELD BOOK NO. PAGE NO.
 SHEET NUMBER

CROSS SECTIONS



SECTION A1-A1
 NOT-TO-SCALE



SECTION A2-A2
 NOT-TO-SCALE

EXHIBIT J – ARCHITECTURAL PRODUCT



Alley Load Two Family Product



Garage Front Load Two Family Product

EXHIBIT K –TYPICAL LANDSCAPE PLAN



EACH UNIT:
 (5) 5-GALLON SHRUBS
 (5) 3-GALLON SHRUBS



EACH UNIT:
 (5) 5-GALLON SHRUBS
 (5) 3-GALLON SHRUBS

PROTOYPICAL LANDSCAPE
 GARAGE FRONT LOAD PRODUCT

LOOKOUT RIDGE
 GEORGETOWN, TEXAS

Date: November 8, 2023