



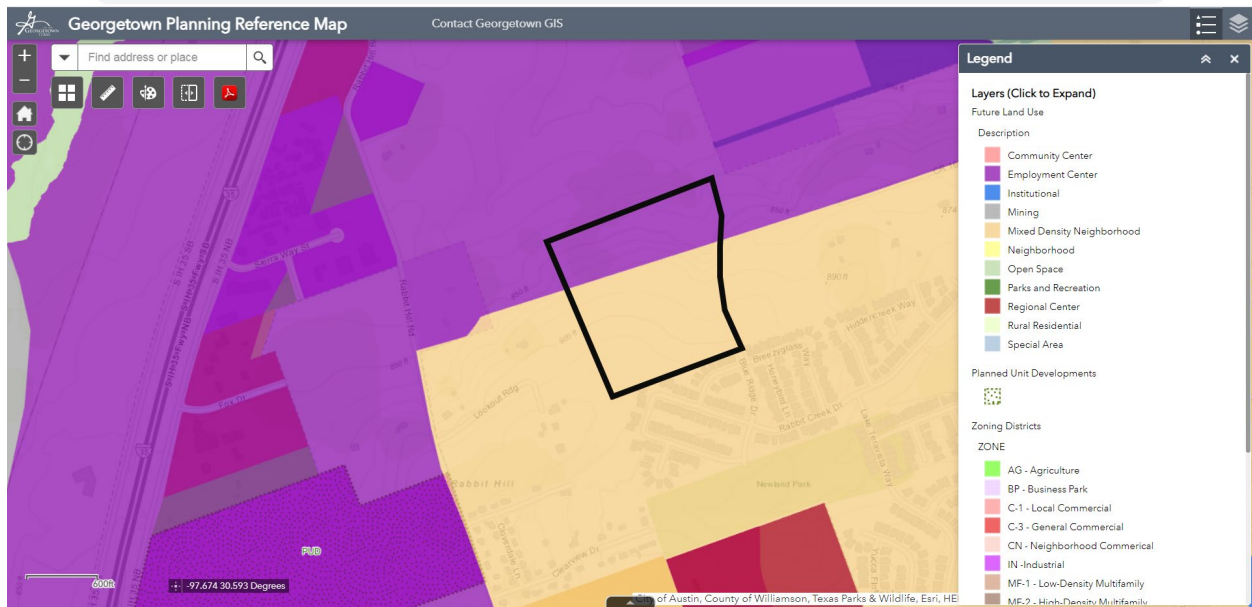
August 28, 2023

City of Georgetown Planning Department
406 W. 8th Street
Georgetown, TX 78626

Re: Lookout Ridge PUD Letter of Intent

Please find attached, an application for a zoning map amendment for a 41-acre tract of land located just north of Terra Vista at the terminus of Blue Ridge Drive.

The property is currently in the City ETJ and is in the process of being annexed in conjunction with this zoning request. The proposed zoning request is a PUD with a base zoning district of Two Family (TF). The PUD is proposed to include two types of Two Family style housing units configured on a single lot site plan, but designed in a manner consistent with a traditional neighborhood layout with private drive aisles, alley loaded units, street trees and common amenity open space.



Per Section 3.06.030 of the Georgetown UDC, the proposed application addresses the following approval criteria for rezoning:

The City Council shall consider the following approval criteria for zoning changes:

A. The application is complete and the information contained within the application is sufficient and correct enough to allow adequate review and final action;

Response: Application has been completed and fees paid. PUD has been provided with design standards included as listed on the PUD Application Checklist.

B. The zoning change is consistent with the Comprehensive Plan;



Response: The current land use designation for the tract is illustrated as “Mixed Density Neighborhood” and “Employment Center” per the City Future Land Use Plan. The definition for Mixed Density Neighborhood is listed below per the City 2030 Comprehensive Plan.

This category includes a blend of single-family and medium-density housing types. Medium density housing options are consistent with and complementary to the traditional single-family neighborhood with emphasis on connectivity and access to neighborhood amenities including schools and parks. Development standards for medium density housing and any nonresidential uses are in place to ensure compatibility through increased setbacks for taller buildings, architectural designs that are consistent with the neighborhood, location of more intense uses and development nearer to the edge of developments, and enhanced landscaping. Additionally, any nonresidential uses are located primarily at arterials and other major roadway intersections and include appropriate buffering and pedestrian orientation to support the surrounding residents.



DUA: 5.1-14.0

Target Ratio: 80% residential, 20% nonresidential

Primary Use: Variety of single-family home types (detached, duplex, townhome)

Secondary Uses: Limited neighborhood-serving retail, office, institutional, and civic uses

The proposed Two Family base district is consistent with the Primary Uses defined by the Comprehensive Plan for Mixed Density Residential and serves as a transitional land use between single family homes to the south and employment based uses to the north.

The applicant has been coordinating with the City staff over the past year to evaluate an alignment for an east/west collector road that would connect Ridge Line Boulevard on the east to Sierra Way Street on the west. This new collector alignment would create a natural dividing line between the “Mixed Density Neighborhood” and future “Employment Center” land uses. The applicant believes that this situation creates a land use configuration that is consistent with the City 2030 Plan.

The following policies of the Comprehensive Plan are reinforced by the proposed project:

Policy LU.1 – Encourage a balanced mix of residential, commercial, and employment uses at varying densities and intensities to reflect transition from urban to suburban to rural development.

The proposed land use for the property would provide Georgetown with a housing type that is not currently prevalent in the City housing mix. The Two Family housing product provides a diversity of housing options for the City and supports a logical transition of uses by incorporating a medium density product in between single family housing and future employment center uses. This medium density housing product also provides housing density adjacent to one of the City’s growing employment areas, which creates the opportunity for more employees to live in close proximity to their place of work.



Policy LU.2 – Promote more compact, higher density, well connected development within appropriate infill locations.

As previously stated, a higher density product in the proposed location is in alignment with the City Comprehensive Plan. The proposed project would also include the extension of Blue Ridge Drive, which would greatly enhance the connectivity in the area.

Policy LU.3 – Promote development of complete neighborhoods across Georgetown.

The proposed PUD defines a neighborhood which incorporates a well connected private street network with street trees, on street parallel parking, internal pocket parks, alley loaded homes and a well connected trail and sidewalk configuration. The applicant has incorporated all of these elements into the proposed zoning in an effort to create a complete neighborhood for future residents.

Policy LU.11 – Encourage innovative forms of compact, pedestrian friendly development and a wider array of affordable housing choices through provisions and incentives.

The land use vision for the tract includes compact, pedestrian friendly housing product that incorporates walkable routes throughout the community through the incorporation of sidewalks on both sides of the internal private drives. The unique two family attached product will also provide for a wider selection of housing in the City of Georgetown.

C. The zoning change promotes the health, safety or general welfare of the City and the safe orderly, and healthful development of the City;

Response: The proposed project benefits the City by providing a transitional land use in between existing single family homes and future employment center uses. The project will also extend Blue Ridge Drive, providing a critical transportation leg in the overall circulation of the area.

D. The zoning change is compatible with the present zoning and conforming uses of nearby property and with the character of the neighborhood; and

Response: The surrounding area is not currently zoned. However, Terra Vista is located directly to the south and employment uses are planned to the north. As previously stated, the proposed land use is a logical transition within the land use pattern of the area.

E. The property to be rezoned is suitable for uses permitted by the district that would be applied by the proposed amendment.

Response: The land is suitable for Two Family development.

In addition to the approval criteria outlined in UDC Section 3.06.030 above, the additional criteria from UDC Section 3.06.040 have been addressed below:

A variety of housing types, employment opportunities, or commercial services to achieve a balanced community;

Response: The proposed housing type within the Lookout Ridge PUD will create a diversity of housing product for the City and locate it in close proximity to serve the future employers in the area.

An orderly and creative arrangement of all land uses with respect to each other and to the entire community;



Response: The medium density housing product proposed creates an orderly transition in between single family homes and future employment uses.

A planned and integrated comprehensive transportation system providing for a separation of pedestrian and vehicular traffic, to include facilities such as roadways, bicycle ways, and pedestrian walkways;

Response: The proposed Lookout Ridge PUD will incorporate sidewalks on both sides of the internal private drives to provide pedestrian connectivity throughout the development. Alley loaded homes are proposed internal to the development to minimize driveways and interruptions between pedestrian and vehicular circulation.

The Blue Ridge Drive extension will be constructed along the eastern edge of the project providing further connectivity to the area for pedestrians and vehicles.

The provisions of cultural or recreational facilities for all segments of the community;

Response: Extensive private park and amenity features are proposed within the Lookout Ridge PUD to meet the needs of the future residents. Additional park and park improvement fees will be contributed to the City for regional park improvements.

The location of general building envelopes to take maximum advantage of the natural and manmade environment;

Response: Building envelopes have been configured to create a well connected, traditional neighborhood design. Building envelopes and private amenity center have been located on the highest areas of the site to overlook the natural open space and amenity pond feature.

The staging of development in a manner which can be accommodated by the timely provision of public utilities, facilities and services;

Response: The City is planning to install a water line along Blue Ridge Drive which will serve Lookout Ridge project. Wastewater will also be accommodated along Blue Ridge Drive. The development will be staged, in coordination with the City, to accommodate the needs of Lookout Ridge as well as the surrounding area.

The Applicant appreciates the City of Georgetown's consideration of this re-zoning application. Through this re-zoning effort and subsequent City review processes, we believe that the future development will complement and support the surrounding uses while staying compatible with the current development patterns of the area.

Sincerely,

Mark Baker, ASLA
Principal